



Whitehouse Planning Commission Meeting Notice

Notice is hereby given that the Planning Commission of the Village of Whitehouse will meet on Monday, January 7, 2019, at 7:00 p.m. in the Council Chambers, Whitehouse Village Hall, 6925 Providence Street, Whitehouse, Ohio.

AGENDA

1. Call to Order
2. Roll Call
3. Election of officers for 2019 (Chairman, Vice Chairman, Secretary)
4. Approve Minutes of the August 6, 2018 Planning Commission Meeting
5. Review and discuss preliminary site plan for the Whitehouse Square Townhomes to be located in the Whitehouse Square TND
6. Other business as appropriate under the Charter
7. Adjourn

Jordan D. Daugherty
Village Administrator

**MINUTES OF THE PLANNING COMMISSION
VILLAGE OF WHITEHOUSE, LUCAS COUNTY, OHIO
August 6, 2018**

At 7:01 pm, Chairman Tom Lytle called the meeting of the Whitehouse Planning Commission to order.

Roll Call: Don Atkinson, Allen Kuck, Tom Lytle, David Prueter and Zach Ries. **Also present were the following:** Bob Keogh, Aggie Alt, Babs Marshall, Bill May, Administrator Jordan Daugherty, and Community Development Coordinator Barbara Knisely.

Motion by David Prueter, seconded by Don Atkinson to approve the minutes from the June 4, 2018, Whitehouse Planning Commission meeting with two revisions: add the words “motion approved” on the third page at the end of the last two paragraphs. Motion approved 5-0

The only item of business was to review, discuss, and make a recommendation for a request for a lot split by the AW Chamber of Commerce for the property located at 10802 Waterville Street, owned by the Anthony Wayne Area Chamber of Commerce (Chamber).

Mr. Bob Keogh was present to represent the Chamber and confirmed that they would like to split Lot 67, which is a current nonconforming lot due to its size. This lot currently houses two buildings and they would like to sell the former apartment building which is now vacant so that a new business could relocate there. Originally the Chamber was going to demolish the building but upon getting estimates, have decided the \$35,000-\$40,000 demolition cost is too much. They have a potential buyer who is interested in turning it into a commercial property.

Mr. Keogh stated he understands that Staff Report 07-2018 states that the building cannot be used for residential purposes. However, they would like to allow a one bedroom apartment to be built using one-half of the first floor so that a family member can reside there to look after the property.

Chairman Lytle referred to Staff Report 05-2014, dated December 1, 2014, wherein a prior owner of this property appeared before the Planning Commission for a lot split. The split was not approved and the Chamber bought the entire parcel, including both buildings (office and apartment buildings).

Chairman Lytle began review of the current Staff Report #07-2018, dated August 6, 2018:

Background information was reviewed (Items 1-4)

#5: Per Chapter 1123.04, the Administrator cannot approve a lot split when it will create two nonconforming lots due to the sizes.

#6-8: Reviewed current requirements for lot sizes in the commercial district and the sizes that would be created if the lot split is approved.

#9: Briefly discussed the survey dated November 13, 2014, showing the apartment building encroaches into the right of way at two locations.

Further discussion took place concerning the former apartment building being used for commercial purposes only, and the fact that both lots would become nonconforming, unbuildable, and unsellable lots if the split is allowed.

Chair Lytle opened the floor for discussion.

- Don Atkinson asked how the encroachment happened. Mr. Daugherty explained that the building was probably there first before the streets, alleys and rights-of-way were determined, and that the building/zoning codes were adopted long after the building was put there. Mr. Keogh stated that both parties (Chamber and potential buyer) understand that if either building burns down it most likely could not be rebuilt on this property.
- David Prueter asked about parking spaces for the business and apartment. Brief discussion took place as to the number of spaces available in the public lot on Gilead across from the apartment building – probably 6 or 7 spaces. Mr. Lytle confirmed that it was only one business and one apartment.
- Allen Kuck asked if anyone had seen plans as to what the building would look like once it is remodeled, i.e., color samples, siding, etc. Mr. Keogh stated that the potential purchaser has had a contractor look at the building and plans have already been drawn up.
- Mr. Daugherty asked if the apartment would be upstairs or downstairs? Aggie Alt said it would be a downstairs apartment in the back corner half of the building.
- Mr. Lytle asked if there are any other buildings in the commercial district where tenants live in the upstairs. The answer was affirmative, that there are many upstairs apartments in the downtown. Ms. Knisely stated apartments are not allowed on the first floor in the commercial district. Babs Marshall stated the apartment was for a handicapped person who does not drive a car. Mr. Lytle asked if the apartment would be ADA compliant.
- Mr. Kuck asked how much square footage would be used as the residential apartment. Aggie Alt said one-half the first floor would be residential and the other half along with the second and third floors would be commercial use for two businesses, Mr. Marshall's business and a remodeling company.
- Mr. Lytle asked again about parking. Ms. Alt and Ms. Marshall stated that customers do not come to the businesses, and that only employees would be there during the day – all customer contact is done offsite.
- Zach Ries stated he does not have an issue with the parking as this business is already parking on the street at their current location and he understands that they don't have foot traffic. He asked if the living space would have a separate entrance, and the answer was "yes."
- Mr. Lytle confirmed the lot split would be the same as shown on the November 2014 survey.
- Mr. Kuck asked if the Planning Commission could limit the size of the apartment or put restrictions on it? Mr. Daugherty said he would ask the Solicitor for a legal review of the matter. Mr. Prueter asked if they could control how many residents lived in the apartment.
- Aggie Alt said "it's already an apartment, we're just remodeling it for 2 people."

- Mr. Ries stated they could specify how many square feet could be used for the apartment. Aggie Alt confirmed that it will be very small and that they have no designs of allowing more people.
- Mr. Atkinson asked if the first tenant vacated the space, would they rent to another tenant? Ms. Alt stated no, that they would incorporate that space into the commercial business area.
- Mr. Lytle asked why the Chamber didn't renew the tenant leases when they originally bought the building. Mr. Keogh stated that they originally did not want the apartment building, just the office building they were renting at the time. When they did end up with both buildings, their original plan was to clear it out and tear it down, but they soon learned that would be cost prohibitive.
- Allen Kuck added that by allowing living quarters, it might make the building more viable down the road for another purchaser.
- Mr. Lytle confirmed once this first tenant leaves, it becomes commercial.
- Bill May asked if there would be two exits from the second floor, Bob Keogh confirmed that there would be.

Mr. Lytle stated he was open to this arrangement: first floor residential use with limitations and built to meet the Ohio Building Codes. The building would be improved inside and outside which enhances the downtown area. He asked for any further discussion.

- Mr. Prueter asked if they could limit the building to two commercial businesses and link the residential living quarters to one of the businesses.
- Mr. Ries asked if the space is vacated by a tenant, could a third business go in – gives flexibility of expansion.
- Mr. Kuck stated that he is in favor of this and wishes the potential buyer the best of luck. However, if we allow a first floor residence now, what happens in the future?
- Mr. Daugherty said it could be a special accommodation, that's what variances are for. He stated he is for this as long as it's commercial.
- Mr. Lytle added that this would be a positive impact on the downtown with an agreement to accommodate a handicapped person.
- Mr. Kuck asked if we were allowing this because of the ADA. Mr. Daugherty said yes in his opinion that's what makes it a special accommodation.
- Mr. Keogh stated they wouldn't be asking for this if it wasn't for that consideration.
- Mr. Daugherty stated because of the location of this building transitioning into the downtown and the fact that it's not considered a "store front", he's OK with this scenario.

Mr. Lytle said he feels a motion could be made with the following conditions: "Special accommodation for an ADA apartment limited to one-half of the first floor, with legal review of the proposed lease which would terminate once the initial resident vacates the property which would then convert the entire area to commercial."

Mr. Daugherty reminded the Chamber and potential purchasers that commercial and residential building codes are quite different. Mr. Keogh said they understand that and the contractor has already spoken with Bruce Wholf, Chief Building Official about this project.

Don Atkinson moved and Zach Ries seconded to approve the lot split with a special accommodation for an ADA apartment limited to one-half the square footage of the first floor; pending legal review of the lease; which would terminate when the initial tenant/resident vacates the property, at which time the entire building would become a commercial use. Motion passed 5-0.

With no other business to come before the Commission, Zach Ries moved to adjourn the meeting, seconded by David Prueter. Motion passed 5-0. Meeting adjourned at 7:55 pm

Respectfully submitted,

Barbara Knisely
Community Development Coordinator



REQUEST FOR COMMERCIAL / RESIDENTIAL
SITE PLAN REVIEW
Village of Whitehouse, Ohio

Date: 12/21/18

Staff Report No. _____

SECTION I

A. Name of Development: Whitehouse Square Townhomes

B. Type of Development:

(Please check one)

- | | |
|--------------------------------------------|-------------------------------------------|
| <input type="checkbox"/> R-1 Single Family | <input type="checkbox"/> R-4 Two Family |
| <input type="checkbox"/> R-2 Single Family | <input type="checkbox"/> R-5 Multi-Family |
| <input type="checkbox"/> R-3 Single Family | <input type="checkbox"/> PUD |
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Industrial Site |

X TUD

C. Name of Developer(s): West Rock Development

Address: 7828 W Boner St Ph: 419-270-8401 Fax: _____
Toledo, OH 43617

D. Name of Owner: to same

Address: _____ Ph: _____ Fax: _____

E. Name of Engineering Firm: Feller, Finch & Assoc.

Address: 1603 Woodlands Dr. Ph: 419-893-3680 Fax: _____
Mauvee

F. Location of Development: _____

(Attach map) _____

SECTION II

A. Developers are requesting: (Check appropriate box)

- Preliminary Plat Approval Commercial / Industrial Site Plan Approval

Final Plat Approval
If requesting Final Plat Approval, complete B and C below

B. Date on which Preliminary Plat Approval was granted: _____

C. Financial Guarantees:

- Developer has filed a(n): (check one) _____ Escrow Agreement
(To assure improvements will _____ Performance Bond with Surety
be constructed and completed _____ Installed and Village has
in a satisfactory manner) _____ accepted improvements

DESIGN STANDARDS

MEETS OR EXCEEDS
STANDARDS

VARIANCE
REQUESTED*
(Mark in Red)

* If variance is requested, on an additional sheet describe in detail the reason for the variance request.

A. Lot Requirements vary with the zoning classification:

- | | | |
|-----------------------------------------------------------------|-----------|----------|
| 1. Minimum _____ ft. frontage | <u>NA</u> | ___ |
| 2. Minimum square footage _____ | <u>NA</u> | ___ |
| 3. Minimum rear yard of 35 ft. Single Fam.
25 ft. Multi Fam. | ___ | ___ |
| 4. Minimum Front Bldg. Line ___ ft. | ___ | ___ |
| 5. Minimum Side Yard of ___ ft. | ___ | ___ |
| 6. Maximum height of 2 1/2 stories | <u>✓</u> | ___ |
| 7. Corner lots min. width 100 ft. | ___ | ___ |
| 8. All lots abut a public street | ___ | <u>✓</u> |

B. Streets:

- | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|----------|
| 1. Street width (right of way)
minimum in feet - 66 | ___ | <u>✓</u> |
| 2. Streets intersection at right
angles nearly as possible | <u>✓</u> | ___ |
| 3. New streets shall continue from
existing streets or Jog at a
minimum of 140 feet from existing | <u>✓</u> | ___ |
| 4. Cul-de-sac streets shall not be
over 600 ft in length and termi-
nus shall be circular area with
minimum of 100 ft diameter | <u>✓</u> | ___ |
| 5. Streets in sub-division shall be
improved with hard surface pave-
ment with adequate drainage and
shall be a minimum width of 29 ft.
with curb along each side of such
surfacing. | ___ | <u>✓</u> |

C. Blocks:

- | | | |
|---------------------------------------------------------------------------|----------|-----|
| 1. Maximum length shall generally be
one fourth of a mile or 1,320 ft. | <u>✓</u> | ___ |
|---------------------------------------------------------------------------|----------|-----|

2. Width of block to accomodate two tiers of lots, except single tier lots which have greater depth than the minimum requirement of 120 ft. ✓

D. Public Spaces:

1. Set aside reasonable amount of land for play areas, park or other public space as provided in Ohio R.C. 711.09. ✓

E. Easements:

1. Utility easements @ least 5 ft in width shall be provided in rear of each lot and/or along side lot lines continuous to streets or alleys where necessary. ✓
2. Open ditch easements equal to width of the required cross-section plus twenty feet on one side shall be provided. UA
3. Easements for enclosed drainage systems shall be minimum of fifteen feet in width. ✓

F. Storm Sewer (Extension of Public Storm Sewer Main)

1. Drainage lateral, including an adequate outlet, shall be designed & constructed to provide for disposal of all surface water. ✓
2. Drainage ditch shall be enclosed when the enclosure is equivalent in capacity to forty-eight inches in diameter or less. Such enclosures shall be constructed, installed & paid for by developer. UA
3. Storm hydraulic grade lines shall be based on estimated run-off conditions in watershed, ten years from the time the improvement is made. ✓

G. Water Main (Extension of Public Water Line)

1. When adequate public water line is within 1,000 feet of subdivision, such line shall be extended so that each lot has access to the public water supply and total cost borne by developer. ✓
2. When public water supply system is used and lots are less than 12,000 sq ft, sanitary sewers shall be provided and connected to a public system or an approved treatment plant. ✓

H. Sewer Main (Extension of Sewer Line)

1. When the proposed subdivision is located within 500 feet of an adequate sanitary sewer line, a connection to the line shall be provided for each lot by the developer.

✓ —

I. Street Lights

1. Acorn street lighting plan approved by the Village with developer paying total cost of installation.

✓ —

J. Sidewalks

1. Concrete sidewalks covering all developable frontage with a minimum of five (5) ft. and conforming to all Village specs.

✓ —

K. Utilities (Other)

1. All utilities (electric, gas, phone, cable etc.) must be located in public easement and installed underground.

✓ —

L. Monuments

1. All subdivision boundary corners and others must be marked with cement and iron pipe monuments.

✓ —

ZONING INSPECTOR COMMENTS

VILLAGE ADMINISTRATOR COMMENTS

PLANNING COMMISSION

VARIANCE REQUESTED (Section #)	DENIED	APPROVED	CONDITION. APPROVAL*
1. _____	_____	_____	_____
2. _____	_____	_____	_____
3. _____	_____	_____	_____
4. _____	_____	_____	_____
5. _____	_____	_____	_____

*Specify Conditions Below:

* * * * *

PLANNING COMMISSION COMMENTS

I, _____ (Owner, Developer, Engineer) of the
(circle one)

proposed development known as _____ certify
that all the information provided herewith is true and accurate to
the best of my knowledge.

Signed: Tom Rochus
Date: 12-21-2018



SITE PLAN REVIEW CHECK LIST
Village of Whitehouse, Ohio

SHOWN ON NOT SHOWN
PLAN ON PLAN
(MK IN RED)

(1) IDENTIFICATION SHALL BE NOTED AS FOLLOWS:

- | | | |
|--------------------------------------------------------------------------------------------|---|---|
| A. The title "Preliminary Drawing" | — | — |
| B. The proposed name of the subdivision | ✓ | — |
| C. The location by township, section, town and range or by other legal description; | ✓ | — |
| D. Names and addresses of the developer and his or her agent who designed the subdivision; | ✓ | — |
| E. The scale of the drawing (one inch equals 100 ft. preferred); | ✓ | — |
| F. The date and north point; | ✓ | — |
| G. The approximate acreage; and | ✓ | — |
| H. The key location. | ✓ | — |

(2) DELINEATION SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:

- | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---|-----------|
| A. Boundary lines of the proposed subdivision indicated by dashed heavy lines; | ✓ | — |
| B. Locations, widths and names of all existing or prior platted streets or other public ways; railroad and utility rights of way and easements; parks and other public open spaces; permanent buildings and structures; and section and corporation lines, within or adjacent to the tract; | ✓ | — |
| C. Existing sewers, water mains, culverts, other underground facilities and open drainage ditches in and within close proximity to the tract, indicating the size, depth, direction of flow and location; | ✓ | — |
| D. Boundary lines of all tracts of unsubdivided and subdivided land abutting the proposed plat, showing owners of tracts greater than one acre; | ✓ | — |
| E. Indication of ground forms, preferably contours at two-foot intervals as measured in the field; | — | — |
| F. The existing zoning of the proposed subdivision and abutting tracts in zoned areas; | ✓ | — |
| G. The layout of proposed streets, their proposed names and widths and the widths of proposed alleys, crosswalkways and easements. Proposed street names shall be checked with the Real Estate Transfer Department of the County Auditor's office to avoid duplication. | — | ✓ (names) |
| H. Layout numbers and dimensions of lots or parcels with appropriate designations; | ✓ | — |
| I. Suggested locations of proposed water lines, sanitary sewer lines, storm sewer lines and sidewalks; | — | — |

PAGE 2
PRELIMINARY PLAT CHECK LIST

- | | | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---|---|
| J. Sanitary treatment plant, well and septic tank locations; | — | ✓ |
| K. Where septic tanks are proposed, the submission of the results of soil percolation tests. The location of soil percolation tests shall be indicated and keyed to the result submitted. | — | ✓ |
| L. A diagram of proposed drainage development, including streets and lots, with indication of their outlet into existing facilities, and proposed elevation of drains at critical points; | ✓ | — |
| M. In critical areas, high water levels and areas subject to flooding; | — | ✓ |
| N. A screen planting plan, if any; and | — | ✓ |
| O. Proposed building set-back lines, showing dimensions. | ✓ | — |

APPROVED:

BY: _____

DATE: _____

FellerFinch

& ASSOCIATES, INC.

Engineers · Surveyors

1683 Woodlands Drive
Maumee, Ohio 43537
Phone: (419) 893-3680
Fax: (419) 893-2982
www.fellerfinch.com

Donald L. Feller, P.E.
Gregory N. Feller, P.E.
Aaron M. Feller

December 21, 2018

Ms. Barb Knisely
Village of Whitehouse Zoning Administrator
6925 Providence Street
Whitehouse, Ohio 43571

RE: Whitehouse Square Townhomes
Project No. 10E08870

Dear Ms. Knisely:

We are submitting the above referenced project for development plan approval. The project is located in the Whitehouse Square TND development. The project consists of 132 townhome units. The intent is to sell the homes so each unit will need to be on its own lot. The road will be a private road in a private road right-of-way. The purpose for the right-of-way is to allow the lots to have frontage.

Should you have any questions, please contact us at your earliest convenience.

Sincerely,

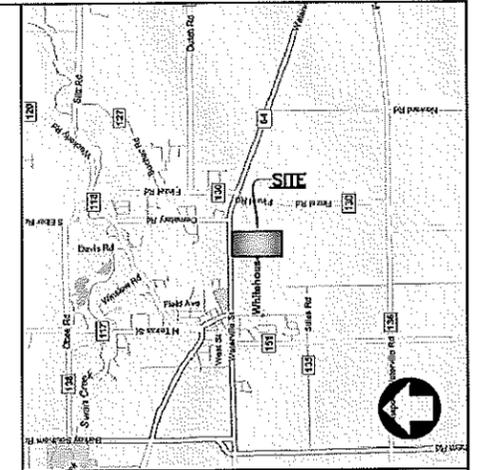
FELLER, FINCH & ASSOCIATES, INC.



Gregory N. Feller, P. E.
President

DEVELOPMENT PLAN OF *Whitehouse Square Townhomes*

A TRADITIONAL NEIGHBORHOOD DEVELOPMENT
VILLAGE OF WHITEHOUSE, LUCAS COUNTY, OHIO



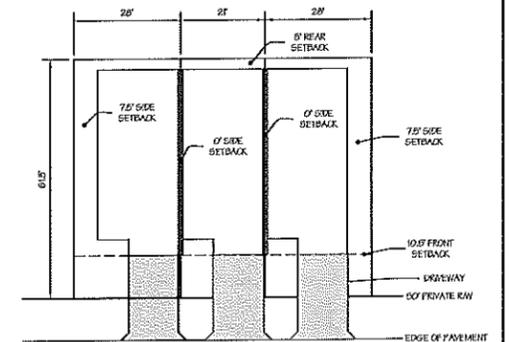
VICINITY MAP

LEGAL DESCRIPTION

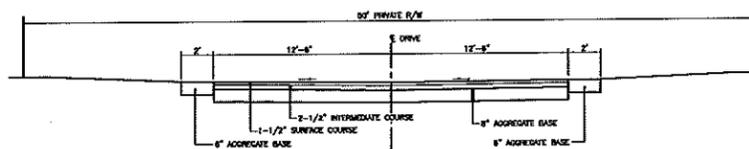
WHITEHOUSE SQUARE LOT 1, EXCEPTING THE NORTH 352.36 FEET.
WHITEHOUSE SQUARE LOT 2, EXCEPTING THE EAST 250 FEET OF THE NORTH 300 FEET.

SITE ANALYSIS

- EXISTING USE: VACANT LAND
- EXISTING ZONING: TND
- 132 UNITS ON INDIVIDUAL LOTS TO BE PLATTED
- TOTAL AREA: 12.042 AC.
- 50' PRIVATE RIGHT OF WAYS
- PRIVATE STREETS
- PRIVATE STORM SEWERS
- PRIVATE SANITARY SEWERS
- PRIVATE WATERLINES
- NATURAL GAS
- UNDERGROUND ELECTRIC, PHONE AND CABLE



TYPICAL LOT/BUILDING



ROAD CROSS SECTION

ONRY CAMPBELL PROPERTIES
1020 WATERVILLE ST.
WHITEHOUSE, OH 43071
PARCEL # 88-03272
EX. ZONING: C-3

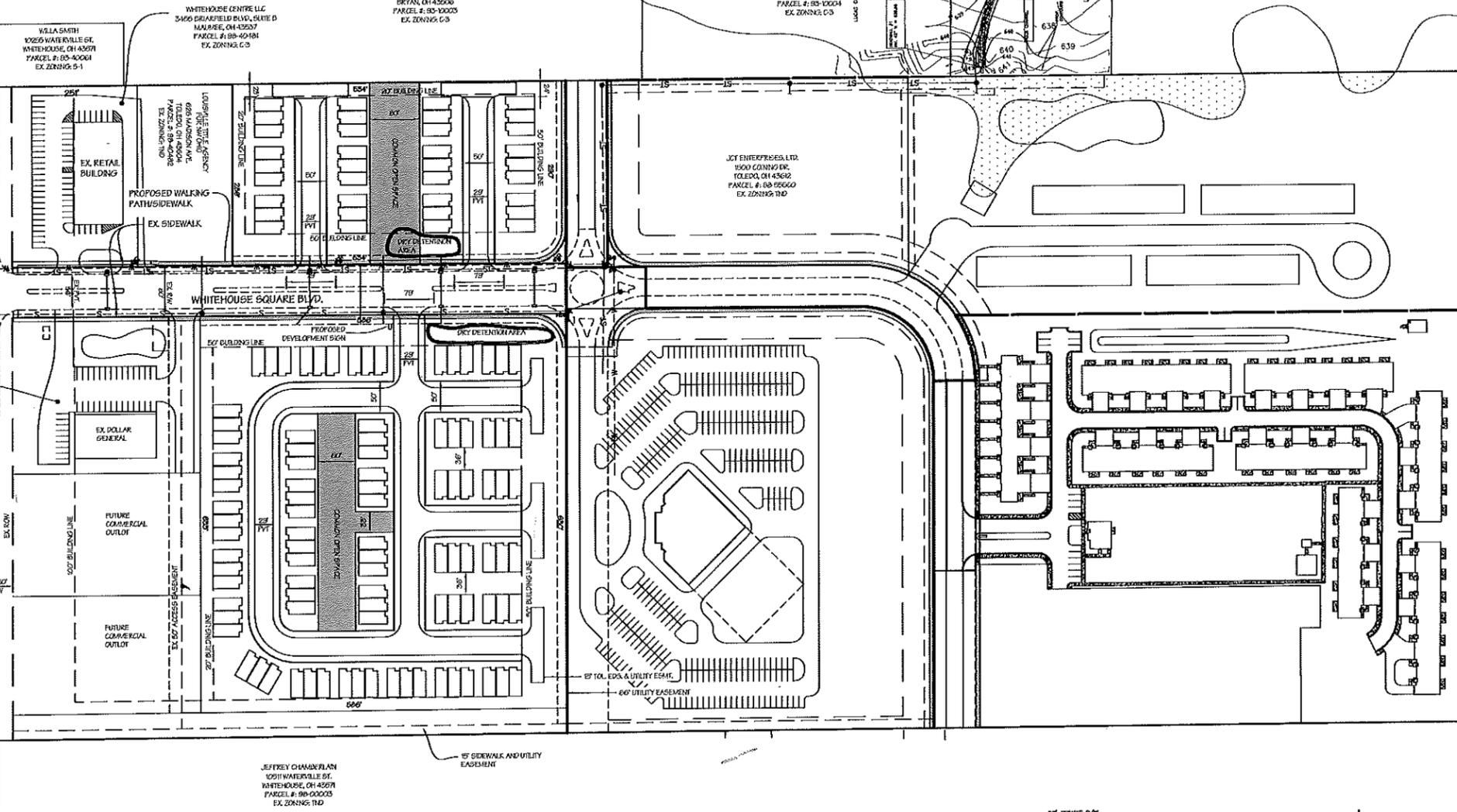
GREGORY SULLIVAN
3062 PLEASANT HILL RD.
MAUMEE, OH 43537
PARCEL # 88-03276
EX. ZONING: M-1

CHARLES WITE
714 501 075
WHITEHOUSE, OH 43071
PARCEL # 88-03254
EX. ZONING: M-1

GREGORY SULLIVAN
3062 PLEASANT HILL RD.
MAUMEE, OH 43537
PARCEL # 88-03256
EX. ZONING: M-1

COLE DS WHITEHOUSE OH LLC
10 DOE 460380 DEPT 250
HOUSTON TX 77056
PARCEL # 88-40485
EX. ZONING: C-3

AMERICAN CAN PACKAGING INC.
2920 LUTELY DR. W.
ELK GROVE VILLAGE, IL 60007
PARCEL # 88-03411
EX. ZONING: M-1



DEVELOPED BY:
WEST ROCK DEVELOPMENT
782B West Bancroft
Toledo, OH 43617
PHONE: 419-270-8401

PREPARED BY:
Feller Finch
& ASSOCIATES, INC.
Engineers • Surveyors
1683 Woodlands Drive, Maumee, Ohio 43537
Phone: (419) 893-3880
Fax: (419) 893-2982
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**STAFF REPORT
PLANNING COMMISSION
Site Plan Review 08-2018
Whitehouse Square Townhomes
January 7, 2019**

Developer: West Rock Development

Owner: West Rock Development

Request: Preliminary approval of Whitehouse Square Townhomes consisting of 132 residential units on individual lots in the Whitehouse Square TND.

Location: On the east side of Whitehouse Square Boulevard, south of the existing strip center (State Farm, Pub & Grub, Jo Jo's, AW Chiropractor) and on the west side south of Dollar General store

Access: Whitehouse Square Boulevard

Area: 12.042 acres total

Zoning: Traditional Neighborhood Development District (TND)

Current Use: Vacant land

Adjacent Zoning: To the East: C-3
To the South: TND
To the West: TND
To the North: C-3

Adjacent Use: To the East: Vacant farmland
To the South: Vacant land
To the West: Vacant land
To the North: Vacant land

STAFF ANALYSIS

1. Feller Finch & Associates, on behalf of West Rock Development, has submitted a development plan for Whitehouse Square Townhomes, a proposed development in the Whitehouse Square TND. This proposed development is located on both the east and west sides of Whitehouse Square Boulevard, just south of existing buildings.
2. Parcel 98-40476 (east side) consists of 3.548 acres per Lucas County records. Parcel 98-40477 (west side) consists of approximately 8.5 acres, once the two lots fronting on Waterville Street are removed.

3. Both areas are shown to have access from Whitehouse Square Boulevard, with ingress and egress onto proposed private streets, shown as fifty (50) feet right-of-way with twenty-nine (29) feet of pavement. Will the internal private streets be built to Village standards with curb and gutters? Will sidewalks be required along the private streets? Will parking be allowed on the private streets – if so, will emergency equipment be able to travel on the streets when needed? If parking is not allowed, who will patrol and enforce it?

4. The Traditional Neighborhood Development Concept (Exhibit A) allows for a maximum ten (10) minute walk from one boundary to another or any internal destination. Connecting sidewalks leading to and from these areas are not shown. In other words, one has to leave the development from the street access.

5. The plans show a “Proposed walking path/sidewalk” along both sides of Whitehouse Square Boulevard. Currently there is a sidewalk along portions of the Boulevard. Will a concrete sidewalk be required as opposed to a walking path?

6. Who will be responsible for trash pick-up, snow plowing, and leaf collection on these private streets? Will an HOA be formed and recorded as part of this development? Will the common areas and private yards be maintained by the HOA?

7. Will the “common open space” be for residents only, or will the general public be allowed to use those spaces? How will that be patrolled?

8. Should the developer be required to extend both stub streets that are adjacent to these properties? One heads east just to the south of this property at the small roundabout and one heads west behind Dollar General property. In the past developers were required to extend roadways that abut the proposed development.

9. The owner will be required to provide plan review, EPA permits to install, preliminary construction plans and final “as built” construction plans for the roadway, water, sewer, storm, curbing and sidewalks of the extended Whitehouse Square Boulevard.

10. The Village of Whitehouse State Route 64 Corridor Vision Plan adopted in March of 2018, provides for townhomes on portions of this property along with park space (Exhibit B).

11. ***Chapter 1252 TND Traditional Neighborhood Development.***

1252.01 states the intention of the TND is to provide for interconnecting streets and paths for ease of travel throughout the entire TND development and can be accomplished by a variety of methods, such as walking, biking, or automobile. As stated above, no connecting sidewalks or paths are shown on this plan.

1252.03 states:

Neighborhood Residence Subdistrict. The Neighborhood Residence Subdistrict is a primarily residential part of a TND development, typically the largest area within the pedestrian shed. It consists of single-family, both attached and detached, houses with one (1) accessory permitted on each lot. Buildings are situated on smaller lots with

shorter setbacks to the front and side yards. The narrow lots require that the parking be accessed from the rear by alleys or lanes. Building frontages allow for porches, fences, and small lawns...

As stated in this Section, narrow lots require that the parking be accessed from the rear by alleys or lanes. All but fifteen (15) units show front load garages. The remaining 117 residential units show front driveway/garage access off of the unnamed streets. Therefore, a variance of Section 1252.03 to allow garage access from the front of those units will be required.

1252.04 C. Promotes a pedestrian orientation to allow a resident to walk from any internal destination within the TND.

1252.04 D.1 Requires a “central focus such as a park, public open space, etc.” As mentioned above, will the “common open spaces” be open to the public?

1252.04 F.3. The developer has provided diagrams showing that the buildings will feature different looks using brick, stone, and siding (Exhibit C).

12. 1252.04 G. Pedestrian Orientation

1. TND developments shall provide connectivity through an interconnected street grid network which disperses traffic and encourages a greater use of non-motorized transportation. It shall have a high quality pedestrian environment to make walking pleasurable.

3. Pedestrian connections to neighboring streets and paths are recommended where possible. Paths and walkways should be designed throughout to make the development pedestrian-friendly for those who live and work there and also to make this development easily accessible to the adjacent land uses.

This site plan shows proposed walking paths/sidewalks along both sides of Whitehouse Square Boulevard. It does not provide for any internal sidewalks or connectivity to other areas in the TND.

Per this Chapter of the Zoning Code, the internal sidewalks should connect to other developments, without having to leave the development via Whitehouse Square Boulevard.

This development seems to make a “pocket” wherein the only way in and out (vehicle, bicycle, or pedestrian) is via Whitehouse Square Boulevard. Sidewalks could lead north and south of both parcels to connect to existing and future developments.

The sidewalks along Whitehouse Square Boulevard must connect to the existing sidewalk and run the entire length of these parcels. Sidewalks will be required along the two existing stub streets and will need to be extended along the entire length of the parcels.

(H) Landscaping

Landscaping has not been addressed. Developer will need to meet with the Whitehouse Tree Commission for their review and comments. This group meets on the fourth Thursday of each month. Prior to installation, the contractor must contact Whitehouse employees to arrange for a staff or Tree Commission member to be present during the landscaping installation. Another inspection will be required with the Landscape Contractor and Village representative six months after the initial installation (or as soon as weather permits during the growing season) to be sure that all plants are being properly cared for and maintained. If trees/plants have not survived, they must be replaced at Developers expense.

(I) Lighting

Street lighting shall be provided along all streets in the district. More, smaller lights, as opposed to fewer, high-intensity lights, shall be used. Street lights shall be installed on both sides of the street at intervals of no greater than seventy-five (75) feet. Lighting fixtures shall be distinctive, decorative lampposts designed on a human scale for pedestrian utility...

The site plan does not show any lampposts along the unnamed streets. The Village will require lights spaced no more than 75' apart, with light fixtures to match what has been installed in the other developments.

(J) Signage

The site plan shows a "proposed development sign" at the entrance on the west side of Whitehouse Square Boulevard. Like materials should be used to match what the Village is requiring on the State Route 64 Corridor. Chapter 1259 of the Zoning Code deals with the size and location of signs and must be adhered to before any signage can be approved for this development.

For public and private roadway signs, the developer should use the standard street signs used throughout the Village, a tall sign with 9" white lettering on green background with a high intensity prismatic face.

(K) Streets, Alleys and Sidewalks.

Section 1131.03 of the Village Subdivision Regulations require that private streets be built to Village standards and adhere to right-of-way width standards. The site plan shows twenty-nine foot (29) wide pavement with a fifty (50) foot right of way.

Alleys. This subsection states that "All lots less than fifty (50) feet in width and that front a street or a square shall provide rear alley access for off-street parking. Direct vehicular access from a single lot to a street is not encouraged". A variance must be granted to allow access from the street to each individual driveway and garage.

Sidewalks. The drawing shows proposed walking paths/sidewalks on both sides of Whitehouse Square Boulevard, which meet the requirements of this section. It should be noted that ADA ramps are required at intersections and other major points of pedestrian flow, including where the unnamed streets intersect with Whitehouse Square Boulevard. Construction requirements must meet ORC 729.12 (ramped curbing for handicapped). No sidewalks or paths are shown within the development.

(L) Parking

Each individual unit will have a one-car garage and driveway space for one additional car. Will parking be allowed on one or two sides of the street? Should additional parking spaces be provided somewhere within the development for guest parking?

(M) Required Open Space

1. States that the minimum open space is thirty (30) percent of the gross acreage. The development east of the Boulevard is a total of 3.548 acres, which would require 1.07 acres as open space.

The development to the west is a total of 8.5 acres, which would require 2.5 acres of open space. The plan does not indicate the total area dedicated to open space. Will these common open spaces be considered private for resident use only, or are they open to the public?

(N) Utilities

The Code requires all utilities shall be provided by underground lines and utility boxes and equipment shall be screened from view of the public right-of-way. This will need to be confirmed with the developer and appropriate contractors.

13. 1252.05 Lot Requirements Minimum Dimensional Requirements - Lots

Dwelling	Minimum Lot Width	Maximum Lot Coverage
Single	40 feet	60%
Two family dwelling	75 feet	80%

The plans submitted show the “typical lot/building” as:

Dwelling	Minimum Lot Width	Maximum Lot Coverage
3-family dwelling	28 and 21 feet	

No fencing is shown on the site plan, but it should be noted that if fences are to be constructed, chain link fences are prohibited.

The Developer shall provide restrictive covenants or other provisions guaranteeing the perpetual maintenance of open spaces, sidewalks, walkways, and other spaces dedicated to public use.

14. 1252.06 Yard Requirements

Dwelling	Front Yard Minimum	Front Yard Maximum	Minimum Rear Yard	Minimum Side Yard
Multifamily	None	5 feet	20 feet	10' for each end unit

The plans submitted show the “typical lot/building” as:

Dwelling	Front Yard Minimum	Front Yard Maximum	Minimum Rear Yard	Minimum Side Yard
3-family		10.5 feet	5 feet	7.5' for each end unit

15. 1252.07 Building Requirements

Dwelling	Building Height Minimum	Building Height Maximum	Minimum Stories	Maximum Stories	Minimum Floor Area
Multifamily	20	45	1	3	1,000 sf for each floor above finished grade

The plans submitted show the buildings as:

Dwelling	Building Height	Stories	Floor Area
3-family	18	2	1 st – 609 2 nd – 852 Garage-240 Total – 1,701

The development plan shows forty-four (44) buildings with 3 units each, for a total of 132 individual residences.

All units are 2-stories, with either two or three bedrooms each. All units share at least one common wall with another unit.

(C) Commercial and Multi-Family Residential Building Design

4. Building Style. The renderings of the townhomes depict the use of brick, stone, and siding on the building fronts. The materials used on the back and sides was not specified, but it is assumed it will be siding. Subsection C.10. prohibits the use of aluminum, vinyl or plastic siding on the street front sides of buildings. If the developer is going to use siding on the fronts of the buildings, a variance will be required for that purpose.

11. Buildings Located on Street Corners. Buildings located on street corners shall have additional architectural detailing to emphasize the street corner... provide some form of visual interest such as: placement of the primary entry; articulation, towers; plazas, distinctive roof forms; or other distinctive architectural features.

Therefore, the ends of each row of residential units will require some type of architectural feature.

16. Flood Zone. No portion of this development is located within the 100 year flood plan per the FEMA maps. (Exhibit D)

17. With the number of proposed units, the Village will look at the traffic situation at the corner of State Route 64 and Whitehouse Square Boulevard and consider a roundabout at this intersection.

CONSIDERATIONS AND CONDITIONS:

1. It is unclear if West Rock Development is purchasing the entire parcel on the west side of the Boulevard. The original TND plans show two outlots facing Waterville Street. No plans have been submitted for those areas, which are zoned commercial at the present time.

2. All structures along Whitehouse Square Boulevard shall be front facing.

3. The Village will require that both unnamed stub streets be extended to the entire length of the property shown on the Development Plan.

4. Streets shall be looped within the development without the use of the permanent hammerhead turnarounds. The development to the west should provide an additional means of ingress and egress, perhaps from the unnamed street running behind Dollar General. This would alleviate some traffic from the one entrance off of Whitehouse Square Boulevard.

5. UTILITIES:

Streets: Both the unnamed street behind Dollar General and Lincoln Drive East shall be extended the entire length of the property to be developed.

Curbs will be required on all streets.

Minor streets require a 66' right-of-way and all utilities shall be constructed within the right-of-way, per Chapter 1127.03 (B).

Sidewalks to be constructed shall be five (5) feet with concrete on Whitehouse Square Boulevard and all remaining development shall meet current ADA standards throughout the development.

Acorn-style street lights are already installed along Whitehouse Square Boulevard, however street lights will need to be installed within the development along the private streets.

Water: The entire water distribution system in the subdivision shall be looped to eliminate the dead ends shown on the plans.

Sanitary Sewer: All sanitary sewers should be constructed in the road right-of-way to avoid special easement areas as shown on the plans.
Currently only 6 inch taps are available on Parcel 98-40476.

Storm Water: Recommend subsurface storm water detention rather than dry pond area in front of residences. Areas become eyesores. If using dry detention only, locate on rear of development.

All utilities shall be extended to the furthest most lot limit and meet current Village of Whitehouse standards.

6. FIRE DEPARTMENT CONCERNS:

Whitehouse Fire Department officials have reviewed the plan and submitted a letter dated December 28, 2018, with several concerns (Exhibit E):

- a. The name of the development has already been addressed.
- b. Concerned with the five (5) turnarounds shown
- c. No fire hydrants are shown
- d. Streets need to be named
- e. Concerned with only one ingress/egress into the development

VARIANCES REQUESTED:

1252.03 – To allow garage access from the front off of the unnamed street.

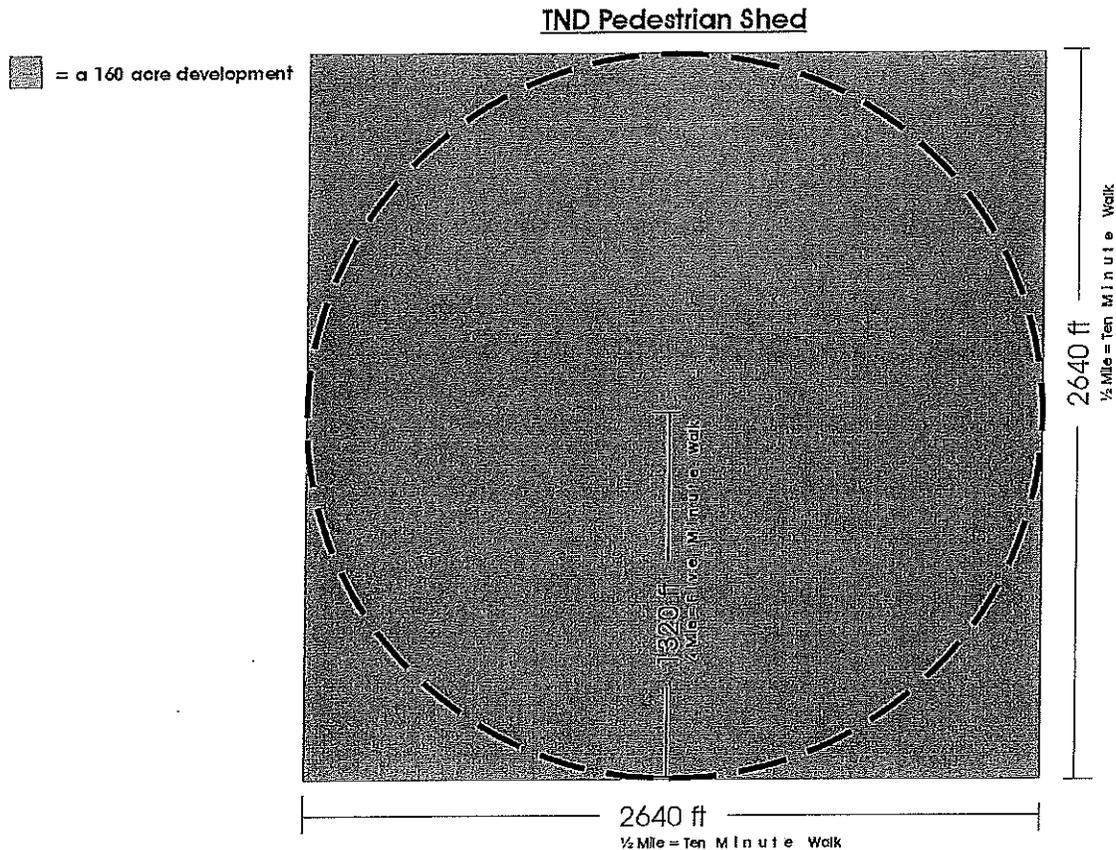
1252.06 – To allow front yard setbacks greater than five feet

1252.07 – To allow the use of siding on the fronts of the buildings

1252.07 – Variances will be required if each floor is less than 1,000 square feet

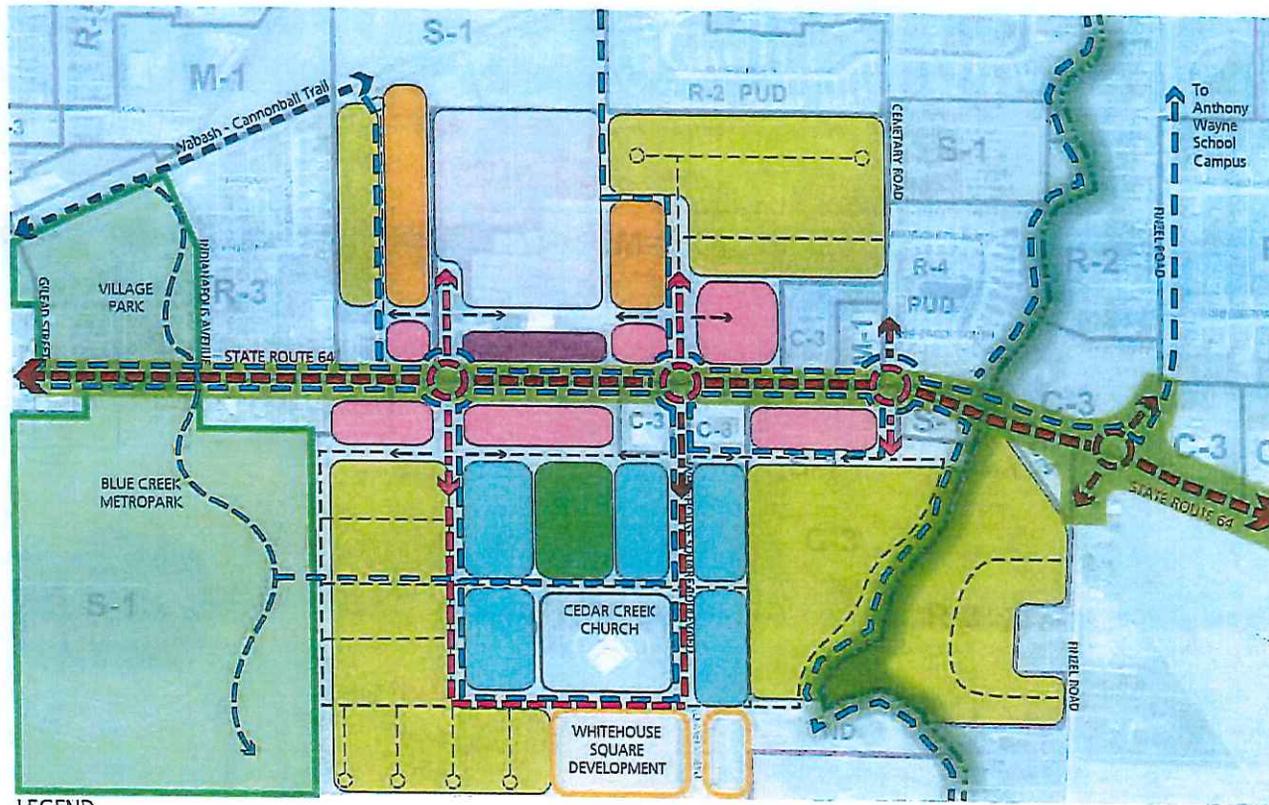
Neighborhood Developments, each individually subject to all of the provisions set forth herein.

- C. Boundary. No larger than one half (½) mile in any one direction to promote a pedestrian orientation and allow a resident to walk from the center of the development to the boundary in five minutes, and from one boundary to another or any internal destination in ten (10) minutes or less.



- D. Density. The arrangement of uses and their densities are site specific. There should be a synthesis of the site design with the existing built environment in order to blend with the aesthetics and density of the existing community.

1. There should be a central focus or neighborhood center to development such as a park, public open space, or special placement of civic uses or sites. This central focus shall be incorporated into the Neighborhood Center Subdistrict or Business Center Subdistrict of the development. Density should progressively decrease as development moves away from the central focus, but at all times should be relative to and consistent with the density of the existing development patterns that surround the TND. The central focus of the development shall not be designed around or front any existing expressway, principal arterial, minor arterial, or major collector streets. This is to maintain the desired pedestrian orientation of the development and to minimize future traffic congestion and/or conflict.



LEGEND

- Park Space Riparian Corridor Proposed Bike/Walking Trail Secondary Access Road Mixed-Use Development Park Space Industrial Institutional
- Proposed Greenway Existing Roadway Proposed Roadway Single-Family Housing Multi-Family Housing Town-House Commercial Development

Village of Whitehouse, State Route 64 Corridor Vision Plan



March, 2018



EXHIBIT "B"

EXHIBIT "B"



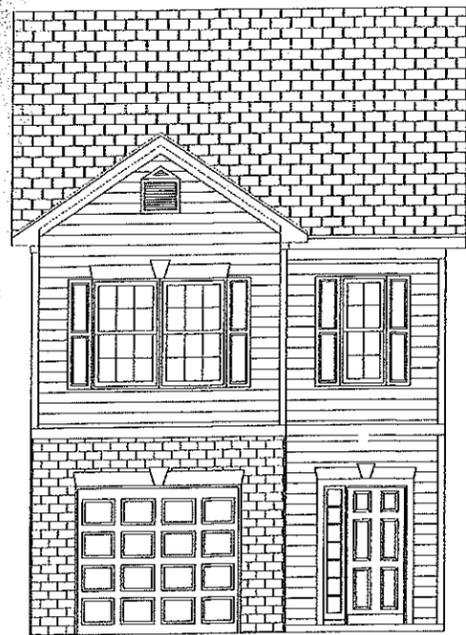
Village of Whitehouse, State Route 64 Corridor Vision Plan



Village of Whitehouse, State Route 64 Corridor Vision Plan



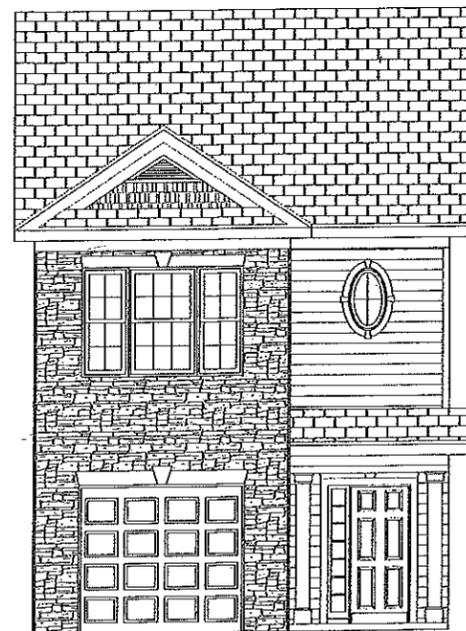
FRONT ELEVATION - A



FRONT ELEVATION - B



FRONT ELEVATION - C



FRONT ELEVATION - D

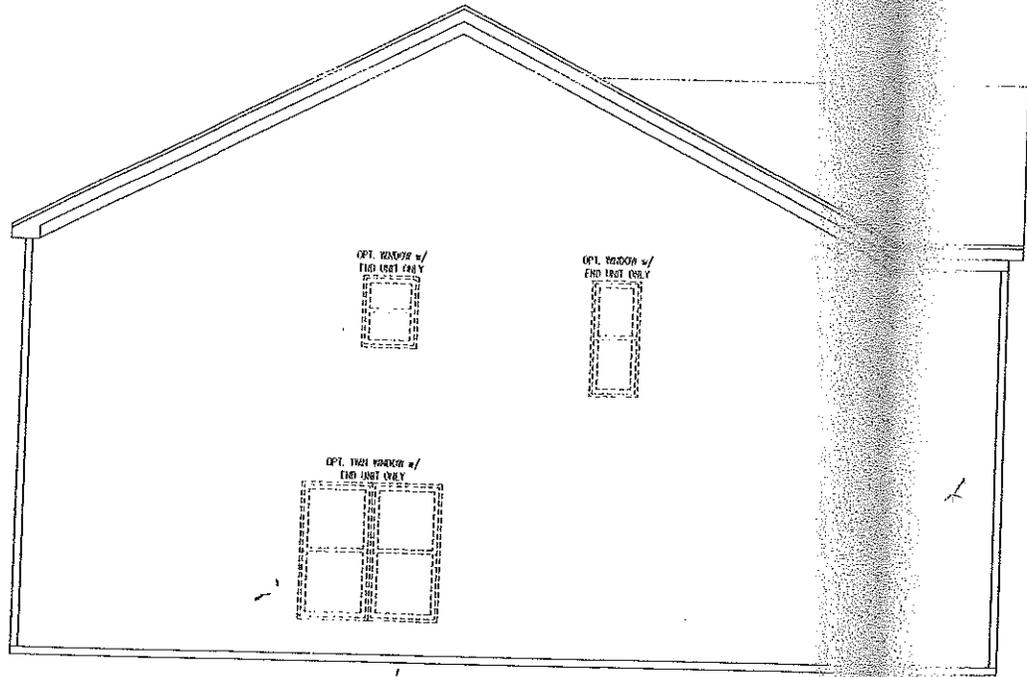
EXHIBIT "C"

1/4"=1'-0"

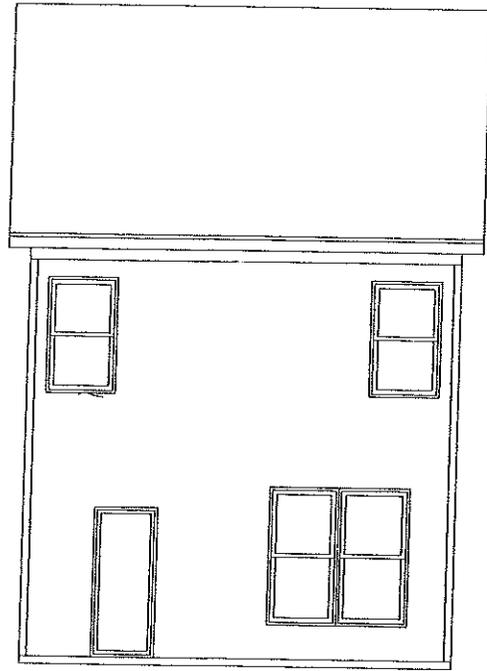
Newton - 1462
QUICK VIEW

PLAN REV DATE
04/20/2015

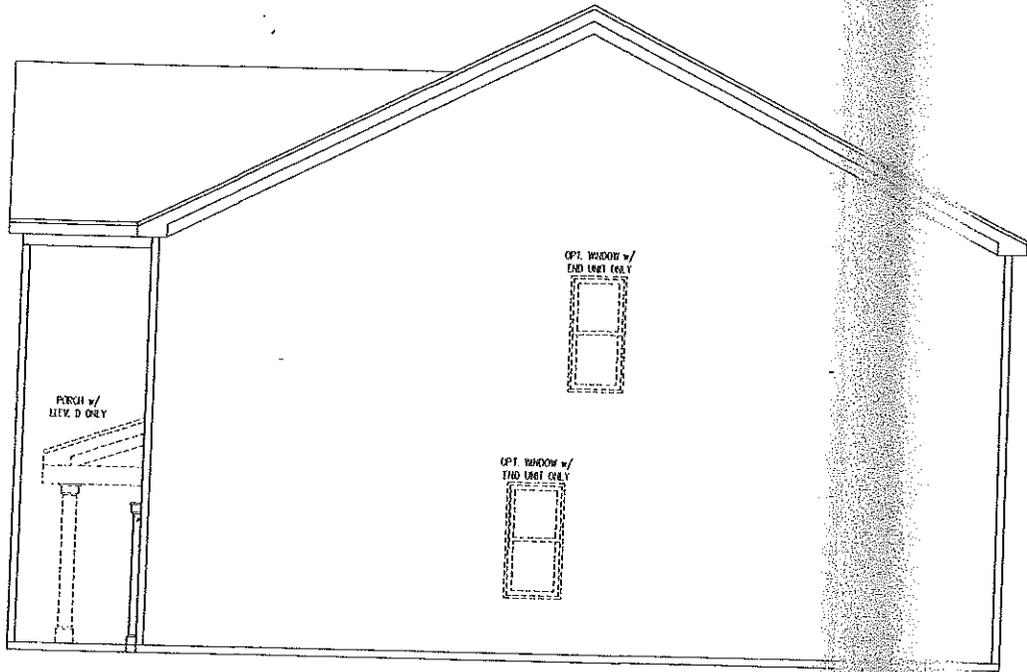
PROPERTY OF DESIGNER
NOT TO BE REPRODUCED
QUICK VIEW



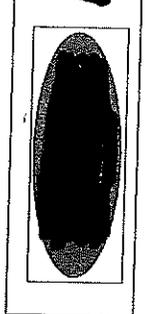
RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



Newton - 1462
Elevations

DRAWER

PLAN REV DATE
04/20/2015

PROPERTY OF DR. HOBBS
NOT TO BE REPRODUCED

DRAWING NUMBER
2A

1/4"=1'-0"

SQUARE FOOTAGE

HEATED	HEATED
FIRST FLOOR	609
SECOND FLOOR	852
TOTAL	1461
UNHEATED	
GARAGE	240
FRONT PORCH	VAR.
COVERED PATIO	64

STAIR RISER CALCULATION

CEILING HEIGHT = 9'-1"
 FLOOR SYSTEM HEIGHT = 14"
 TOTAL RISE = 123"
 NO. OF STEPS = 16
 RISE PER STEP = 7.6875" (7'-11/16")
 TREAD DEPTH = 10"
 STAIR FABRICATOR SHALL ADHERE TO THE PROVISIONS OF SECTION R314 OF THE 2009 IRC / 2012 NC REVISIONS DURING FABRICATION AND INSTALLATION

STRUCTURAL SHEATHING NOTES

- DESIGNED FOR SEISMIC ZONE A-C AND WIND SPEEDS OF 100 MPH OR LESS
- WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10 OF THE 2012 IRC.
- BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.3(1).
- REFER TO SECTION R602.10.8 & R602.10.9 FOR REQUIRED BRACED WALL PANEL (BWP) CONNECTION & SUPPORT.
 - REFERENCE FIGURE R602.10.9 OF THE 2012 IRC.
- INTERIOR BRACED WALL PANELS (BWP) INDICATED SHALL BE SHEATHED BY ACCORDANCE WITH THE CS METHOD OR WSP METHOD AS PRESCRIBED IN SECTION R602.10.4 (UNO)
 - 1/2" GYPSUM BOARD (GB) MINIMUM LENGTH OF 8'-0", 4'-0" IF BOTH SIDES ARE SHEATHED. SECURE w/ #4 COLLAR NAILS SPACED @ 7" O.C. AT PANEL EDGES, INCLUDING TOP AND BOTTOM PLATES & 7" O.C. AT INTERMEDIATE SUPPORTS
 - 3/8" WOOD STRUCTURAL PANEL (WSP) SECURE w/ #4 COLLAR NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS
- EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS-WSP METHOD AS PRESCRIBED IN SECTION R602.10.4.2 (UNO)
- ALL SHEATHABLE SURFACES OF EXTERIOR WALLS (INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS) SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING WITH A MINIMUM THICKNESS OF 3/8". SHEATHING SHALL BE SECURED WITH MINIMUM #4 COLLAR NAILS SPACED AT 6" O.C. AT PANEL EDGES AND SPACES AT 12" O.C. AT INTERMEDIATE SUPPORTS.
- LENGTH REQUIREMENTS FOR BRACED WALL PANELS WITH CS-WSP METHOD SHALL BE IN ACCORDANCE WITH TABLE R602.10.5
 - SHEATH INTERIOR & EXTERIOR
- FOR CS-WSP METHOD, A MINIMUM 2" BRACED WALL PANEL CORNER RETURN SHALL BE PROVIDED AT BOTH ENDS OF A BRACED WALL LINE IN ACCORDANCE WITH FIGURE R602.10.7, IN LIEU OF A CORNER RETURN, A HOLD-DOWN DEVICE WITH A MINIMUM ULT DESIGN VALUE OF 600# SHALL BE FASTENED TO THE CORNER STUD AND TO THE FOUNDATION OR FRAMING BELOW.
 - MINIMUM 600# HOLD-DOWN DEVICE

RS = ROOF SUPPORT

14" FLOOR TRUSSES PER MANUF. MAY BE USED IN LIEU OF 1-JOISTS.

MIN. (2) 2x4 STUD COLUMN SUPPORTS UNDER ALL ORDER TRUSSES THRU TO FND. (UNO)

SECURE 4-PLY LVL w/ 1/2" DIA THRU BOLTS @ 24" O.C.

**FLOOR MANUF. TO PROVIDE UP/LFT CONNECTION @ EACH JOIST



199723400 • 919775466
 44 Shipyard Drive • Garner • North Carolina • 27520
 www.tyndallengineering.com

Project Number: 1001-018003

*Structural analysis based on NC Residential Building Code 2012
 The Engineer's seal applies only to work of components on this document. The seal does not include construction means, methods, materials, procedures, or safety precautions. Any deficiencies or discrepancies on plans are to be brought to the immediate attention of Tyndall Engineering & Design, P.A. Failure to do so will void Tyndall Engineering's liability.

SHEATHING NOTE:
 1) CS-METHOD (11P)
 2) FOR END UNIT - CONNECTION SHEATH PER CS-WSP METHOD

REQUIRED METHOD:
 BR. 1 = 15.4 FT (CS)
 BR. 2 = 15.4 FT (CS)
 BR. A = 10.1 FT (CS-WSP)
 BR. B = 11.3 FT (CS)
 BR. C = 9.3 FT (CS-WSP)

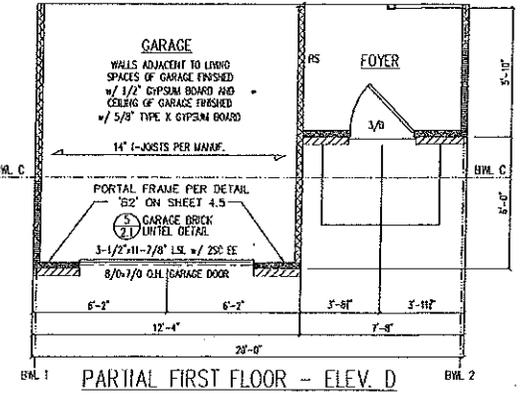
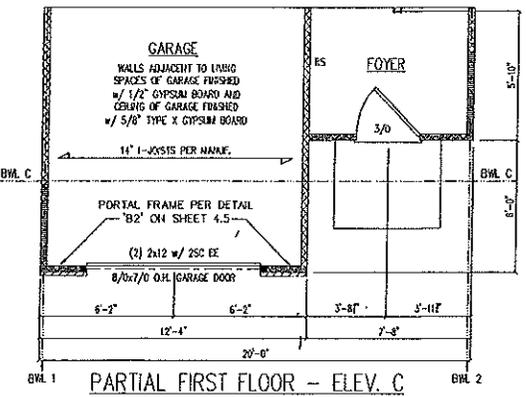
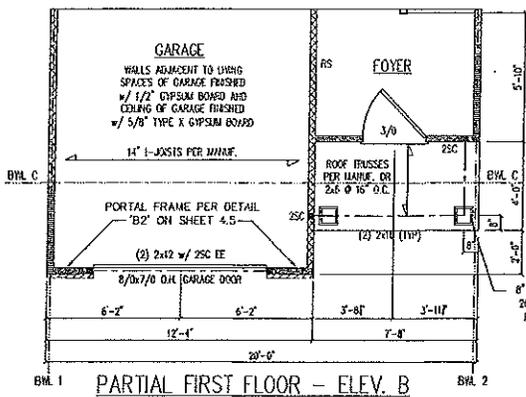
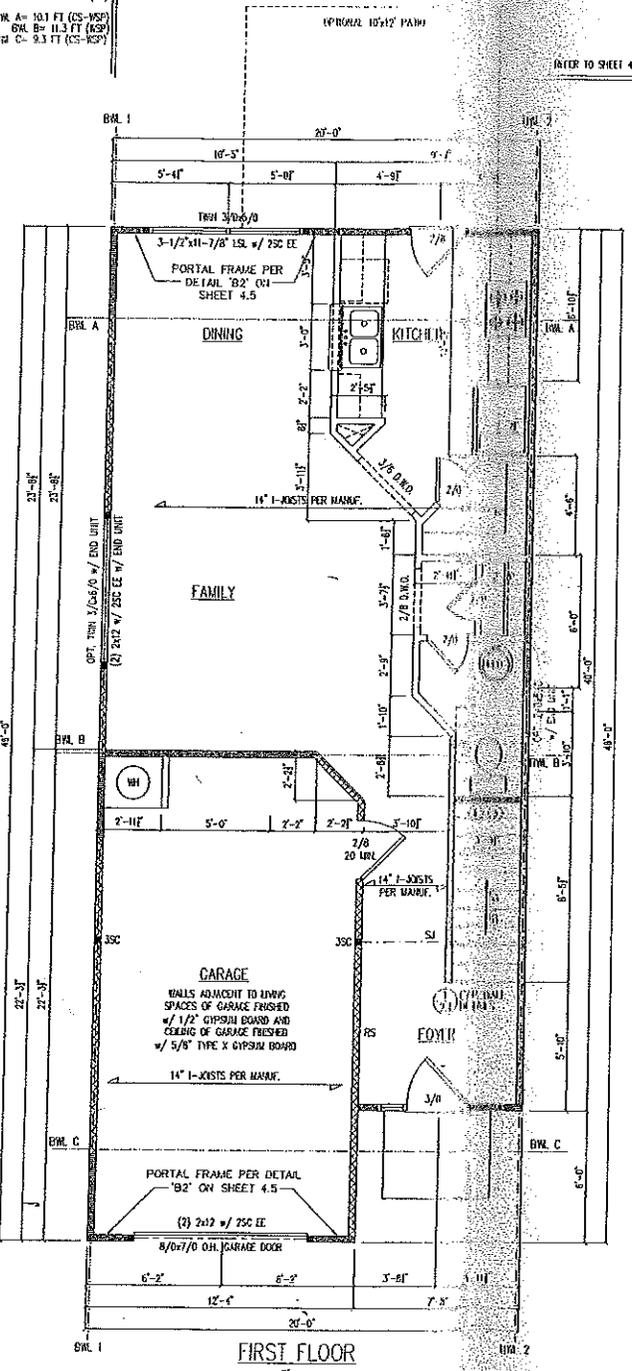
FIRST FLOOR BRACING

PROVIDED:
 BR. 1 = 15.5 FT
 BR. 2 = 15.5 FT
 BR. A = 11.9 FT
 BR. B = 12.9 FT
 BR. C = 11.2 FT
 REFER TO SHEET 4 FOR SHEATHING NOTES

WALL LEGEND

LOAD BEARING @ 16" O.C. (UNO)
 NON-LOAD BEARING @ 24" O.C. (UNO)
 BR. = BRACED WALL LINE
 RATED WALL PANEL (LOAD BEARING)
 RATED WALL PANEL (NON-LOAD BEARING)
 REFER TO STRUCTURAL SHEATHING NOTES, SHEET 4

**ALL WINDOWS ARE LOW EMISSIVITY
 NOTE: SHEATHING TO BE FLUSH WITH FOUNDATION WALLS, HOLD BACK PT PLATE 1/2" FROM FOUNDATION WALLS SO THAT SHEATHING WILL BE FLUSH.
 ALL COLUMNS SHALL BE FIRE RATED WITH A 1-HOUR BURN TIME.
 NOTE: SEE PARTIAL FLOOR PLANS FOR WINDOW & DOOR PLACEMENT
 NOTE: SEE PARTIAL FLOOR PLANS FOR FRAMING VARIATIONS



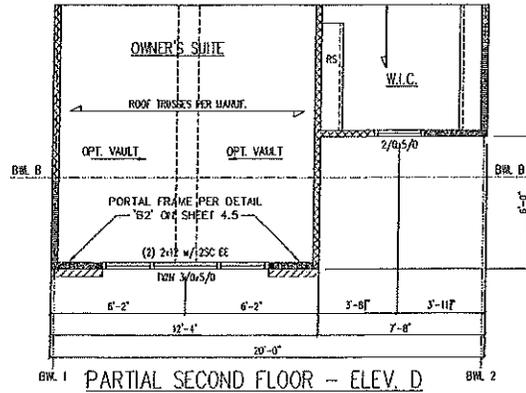
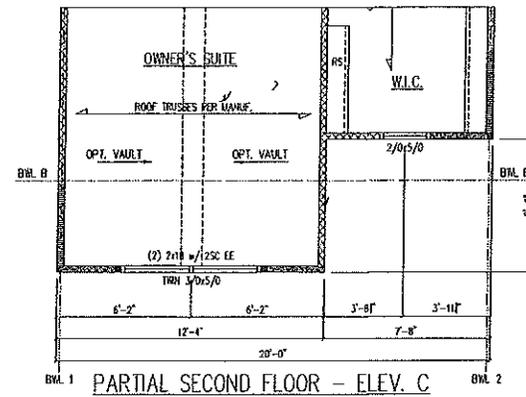
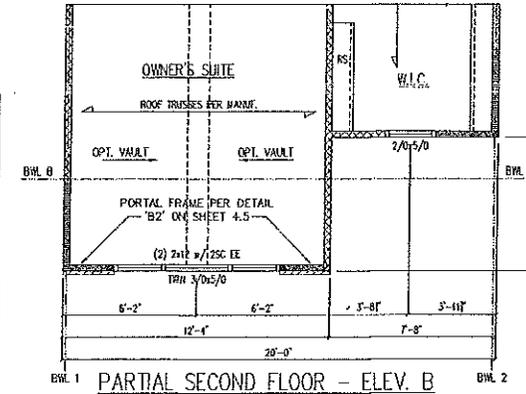
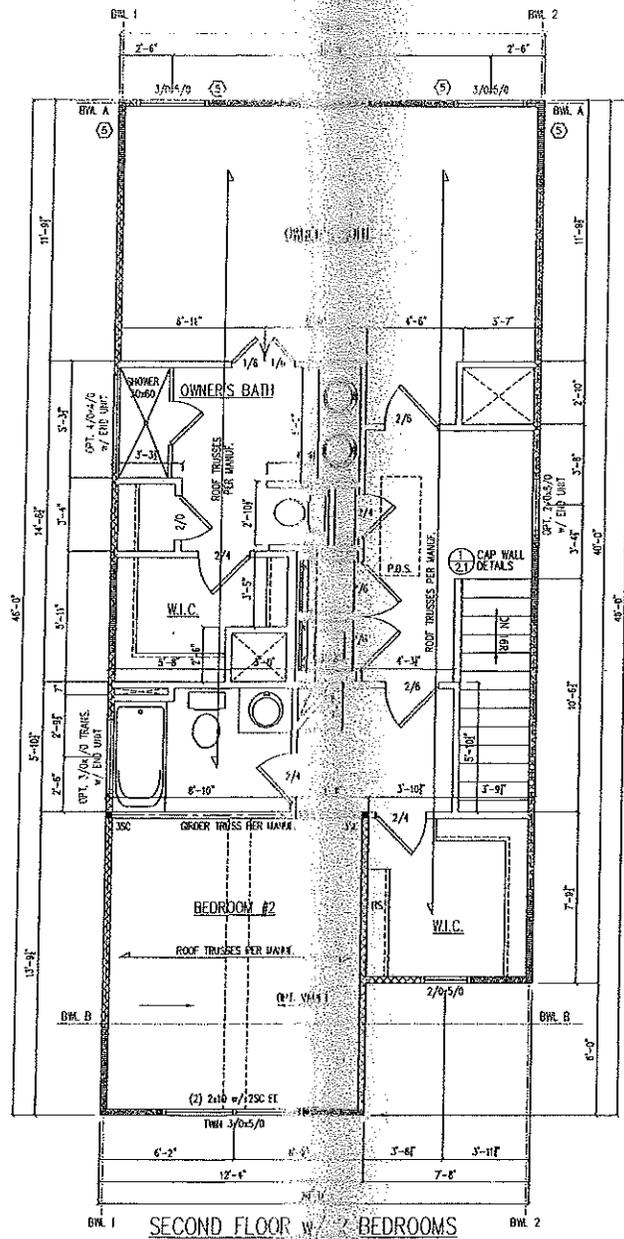
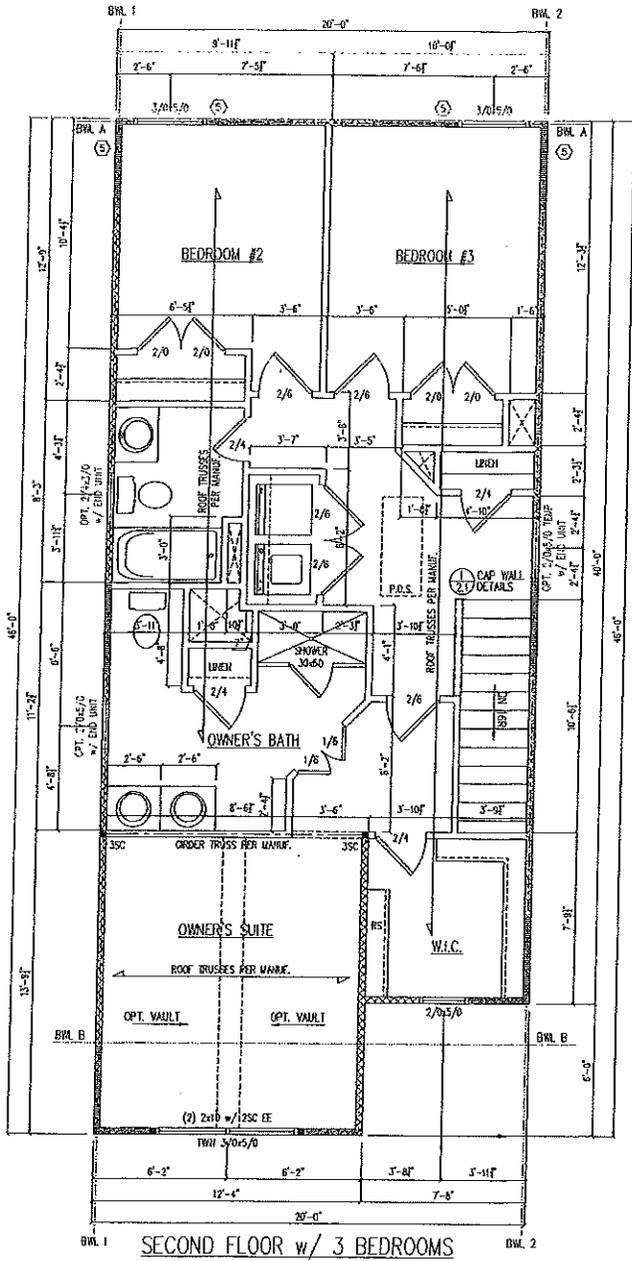
Newton - 1462
First Floor

PLAN REV DATE
 04/20/2015

PROPERTY OF DR. HORTON
 NOT TO BE REPRODUCED

4

1/4" = 1'-0"



SPEC. WALL NOTE:
1) CS-METHOD (TYP)
2) FOR END UNIT COVER/ROOF
- SHEAR PER CS-WSP
METHOD

1. FLOOR BRACING

1) 1x10 (4" END)	PROVIDED
2) 1x10 (10 FT (CS))	BNL 1= 20.4 FT
3) 1x10 (20 FT (CS))	BNL 2= 13.4 FT
4) 1x10 (25 FT (CS-WSP))	BNL A= 8.0 FT
5) 1x10 (25 FT (CS-WSP))	BNL B= 8.6 FT

REFER TO SHEET 4 FOR SHEATHING NOTES

WALL LEGEND

LOAD BEARING @ 15" O.C. (U/R)	
NON-LOAD BEARING @ 24" O.C. (U/R)	
BNL = BRACED WALL LINE	
BRACED WALL PANEL (LOAD BEARING)	
BRACED WALL PANEL (NON-LOAD BEARING)	

REFER TO STRUCTURAL SHEATHING NOTES, SHEET 4

***ALL WINDOWS ARE LOW EMISSIVITY
NOTE: SEE PARTIAL FLOOR PLANS FOR WINDOW & DOOR PLACEMENT
NOTE: SEE PARTIAL FLOOR PLANS FOR FRAMING VARIANTS

Newton - 1462
Second Floor

PLAN REV DATE
04/20/2015

5

1/4" = 1'-0"

FEMA - NFHA DFIRM

LUCAS COUNTY OHIO

Legend Layers Basemap gallery Measure Print

+
↑
-



EXHIBIT "D"



Whitehouse Fire Department

10550 Waterville Street P.O. Box 2817
Whitehouse, Ohio 43571
419 877-0363
Fax 419 877-4827

Joshua Hartbarger, Chief

William May, Assistant Chief

Jason Francis, Deputy Chief

Date: December 27, 2018

To: Tiffany Bachman

Cc: Chief Joshua Hartbarger
Cc: Jordan Daugherty, Administrator

From: Deputy Chief Jason Francis

RE: Whitehouse Square Townhomes

After reviewing the drawings for the proposed Whitehouse Square Townhomes, I have the following comments:

1. The name "Whitehouse Square Townhomes" needs to be changed. There is another complex with the same name in Whitehouse.
2. The fire department rejects all "T" turnarounds on proposed the plot plan. It is the utmost importance that traffic flow is the same on the south side of the complex as it does on the north side, minus the "T" turn arounds. Currently, the fire department is finding it hard to navigate the Whitehouse Square Townhomes that was just built. See Figure 1 on map and the letter titled "New Subdivisions in the Village of Whitehouse".
3. Fire hydrants are missing on the plan. These need to meet Village of Whitehouse specifications.
4. Road names need to be on the plot plan.
5. Prefer to connect a drive to the end of the road to connect a second means of egress for vehicles. See Figure 2 on map.

Jason Francis

Jason Francis
Deputy Fire Chief

EXHIBIT "E"



Whitehouse Fire Department

10550 Waterville Street P.O. Box 2817
Whitehouse, Ohio 43571
419 877-0363
Fax 419 877-4827

Joshua, Hartbarger Chief

William May, Assistant Chief

Jason Francis, Deputy Chief

Date: November 6, 2017

To: Jordan Daugherty

Cc: Chief Joshua Hartbarger, Barb Knisely

From: Deputy Chief Jason Francis

RE: New Subdivisions in the Village of Whitehouse

New subdivisions that are built in the Village of Whitehouse have many benefits to the community. These subdivisions bring in people from other areas that want to live in our great community and raise a family. Bringing in new families into the community helps bring people together for community activities. Lastly, the local housing market helps the economy.

Today, many developers build subdivisions multiple phases. Although most subdivisions are built with cul-de-sacs, the cul-de-sacs are usually finished when the last plat is started. Some subdivisions take many years to be built in different stages with multiple developers. The problem is that dead end roads do not allow fire department vehicles the ability to turn around without using a part of a resident's driveway. These driveways may not be able to support the weight of large fire department vehicles.

Dead end roads pose a safety issue for safety services and maintenance. Administration in the Village of Whitehouse should ensure that new subdivisions do not have dead end roads in the Village of Whitehouse. All subdivisions should have cul-de-sacs that meet the minimum requirements per the Ohio Fire Code and Village of Whitehouse requirements in all stages of the project. cul-de-sacs can be temporary that have a suitable base for fire department vehicles.

Lastly, before any new subdivisions are reviewed at the planning commission meeting, administration should review new proposed subdivisions in a meeting together. Below is a picture of a cul-de-sac that is approved through the Ohio Fire Code. If a cul-de-sac will not be feasible in a subdivision, this should be dealt with on a case by case basis with an alternative method that allows a fire department vehicle the ability to turn around. This should be approved through Village of Whitehouse Administration before the project is brought before the planning commission. Thank you for your understanding in this matter.



Whitehouse Fire Department

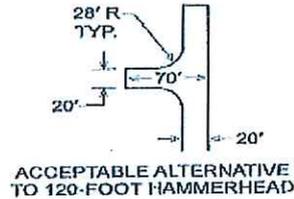
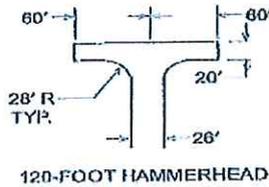
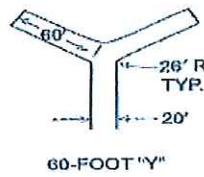
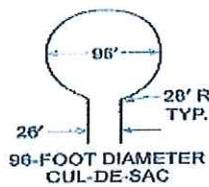
10550 Waterville Street P.O. Box 2817
Whitehouse, Ohio 43571
419 877-0363
Fax 419 877-4827

Joshua, Hartbarger Chief

William May, Assistant Chief

Jason Francis, Deputy Chief

The top left picture shows an approved cul-de-sac. The other pictures are an alternative method that allows fire department vehicles the ability to turn around. The alternative methods will be dealt with on a case by case basis if necessary.





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[Address](#) [Owner](#) [Parcel Number](#) [Assessor #](#) [Advanced](#) [County Map](#) [Multi-Year Search](#)

- Summary
- Map
- Pictometry
- Transfers
- Values
- Residential Attributes
- Commercial Attributes
- Land
- Remarks & Splits
- Permits
- Current Taxes
- Tax Distribution
 - By Fund
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- Payments
- Levy Estimator
- Prior Specials
- Pro # Inquiry
- CAUV
- Agriculture
- Forest
- Mylar Tax Map
- Photos
- Sketch
- Manufactured Home (MH_OH)
- Manufactured Home (MH_EQ)
- Hearing Tracking

PARCEL ID: 9109471
MARKET AREA: 8002C
ROGERS HOLDING LLC A MICHIGAN LIMITED LI
TAX YEAR: 2018

ASSESSOR#: 32019049
ROLL: RP_OH
9760 WATERVILLE SWANTON RD
STATUS: Active



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